



December 2023

Land West of Stoney Stanton - End of Year Report

Thank you

As 2023 draws to a close, the Land West of Stoney Stanton project team would like to thank you for your continued engagement with us over the past 12 months and wish all of our stakeholders and surrounding communities all the very best for 2024.

This report provides a summary of the activities we have undertaken this year as we promote Land West of Stoney Stanton for inclusion in the Blaby District Council (BDC) Local Plan.

More information about the project can be found at www.landwestofstoneystanton.co.uk. If you have any questions about the project or this report – or if you know someone who would like us to send them a printed copy of this report – please email contact@landwestofstoneystanton.co.uk or give the team a call on **0808 1688 296**.

This report is split into two main sections:

- 1) Community Liaison Group: update and next steps
- 2) How engagement to date has influenced Masterplan design

Community Liaison Group

The Community Liaison Group (CLG) serves as a forum for local people to collaborate with one another, highlight significant local needs and issues, and advise the project team on how any new settlement could complement life in the surrounding villages and wider area.

This year has seen two new members join the group, including representatives from Thurlaston and Huncote Parish Councils. As a reminder, private individuals from the surrounding area are also involved and new members are always welcome to join the group and/or attend our meetings. All CLG meeting agendas, minutes and presentations can be found online at: www.landwestofstoneystanton.co.uk/community-liaison-group/

Two further CLG meetings were held in 2023. The topics of discussion have included:

- 1) **Highways and transport infrastructure**, with an introduction to the lead transport planner
- 2) **A design workshop** led by the project masterplanner that focused on settlement design and how engagement to date has influenced our thinking

Transport update

During our January meeting, the project team transport consultant, Brian Plumb, provided an update to CLG members on the proposed highways strategy. Highways work is being carried out alongside other assessments related to the Local Plan, including Leicestershire's Pan Regional Transport Model (PRTM). The PRTM, as well as the Local Plan work and the project's own traffic data, will be used as part of the project's assessment to consider how traffic movements will change beyond the Local Plan period.

Assessments will consider the impact of BDC's planned growth on the wider highways network to understand the development impact and subsequent mitigation required. In relation to the Hinckley National Rail Freight Interchange (HNRFI), assessments will be conducted to both include and exclude the HNRFI as long

as uncertainty around its permission remains. The Consortium will also be working with a variety of authorities, including Leicestershire County Council (LCC) as the Highways Authority, National Highways, BDC, Hinckley and Bosworth Borough Council, and Warwickshire County Council as neighbouring authorities. This will be an iterative process to discuss various mitigation options which will be considered and discussed on an ongoing basis as the project and road use evolves.

As a starting point, the proposed south-facing sliproads at Junction 2 of the M69 have been considered. The project has the potential to provide a new link between Broughton Road and Hinckley Road. The Consortium is not considering any new link to the A47, which is part of the HNRFI proposals. However, we will look at network changes in the area.

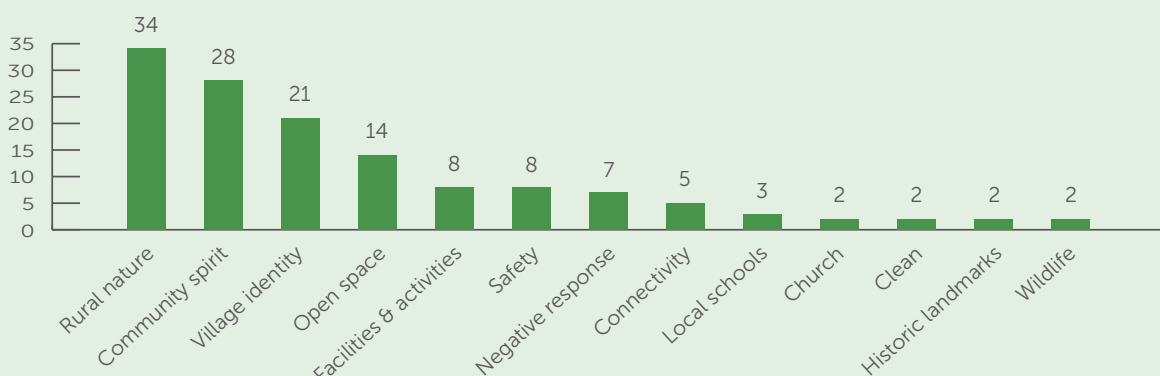
Identity Survey

The project team launched an online survey relating to the place identity of the proposals which was live for five months between Tuesday 1 November 2022 and Friday 31 March 2023.

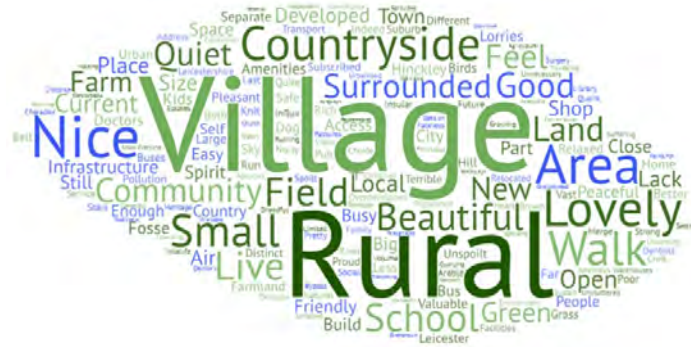
The purpose of the survey was to allow local people to advise the project team on how the land west of Stoney Stanton could complement life in the surrounding villages and wider area. It was targeted at members of the local population and wider community who have connections to West Leicestershire or the Fosse Villages.

The survey was publicised on the project website www.landwestofstoneystanton.co.uk and via email to members of the CLG and individuals who have previously expressed an interest in the proposals. It was also shared by CLG members on local social media and community channels. We received 88 responses from residents across eight villages and towns and would like to thank all who completed the survey. Highlights of the results are provided below.

Village Pride: What makes you most proud to live in this area?

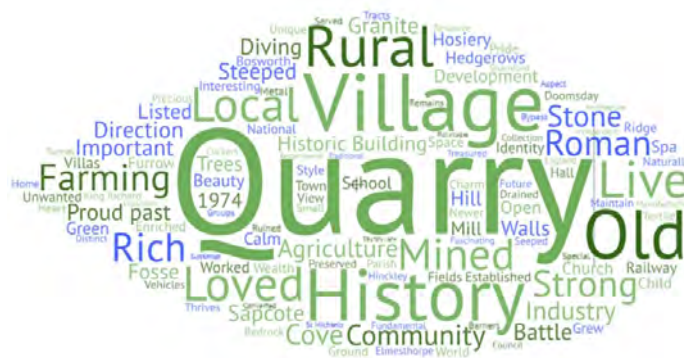


Describing the Fosse villages: “How would you describe the area to people from elsewhere?”



A note on the word clouds: the larger the word in the visual, the more frequently it appeared in the feedback.

Describing the history of the area: word cloud



Cultural integration: How could any new settlement culturally integrate with or complement the existing Fosse Villages?

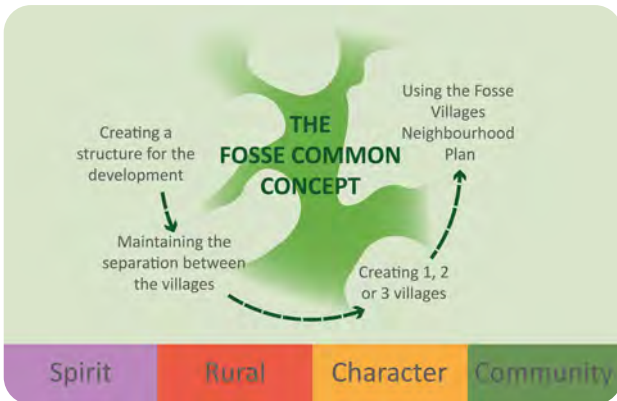
- Need for new infrastructure
- The need to prevent urban sprawl
- New amenities
- Respect for the local context
- A sense of community spirit
- Employment opportunities
- The need for clear, long-term, protected green separation between the villages
- Nurturing the individual identity of villages
- Protect the rural nature of the existing area
- Connectivity between villages
- Respect for the history/heritage clearly aligned to quarrying and farming
- Enhancing existing village centres

Design: Are there any examples of good design, either within the Fosse Villages or further afield, which you would like to see the project team consider for the new settlement?

- Easy access to main roads
- Landscaping
- Parking provision
- Fitting character of the local area
- Public open space
- Self-build plots
- Retirement homes
- Design variation
- Space between homes
- Eco-homes/ sustainable features
- Transport infrastructure
- Facilities
- Garden space
- Village hub
- Integration of market and affordable housing

How engagement to date has influenced our Masterplan design: The Fosse Common Concept

The responses received from the new settlement identity survey were fed back to the lead project Masterplanner, which along with feedback received over the past year during CLG and other stakeholder meetings, has helped to create an initial vision for the new settlement structure and design. This was the topic of the first CLG design workshop, which took place in June 2023. During this session, the notion of the Fosse Common concept was highlighted. This concept was first brought to the attention of the project team during initial workshops held in October 2021 and has played a significant role in informing the concept framework by focusing on providing green separation and sustaining new and existing village separation. In addition, the Fosse Villages Neighbourhood Plan, historic analysis, and local knowledge have all continued to inform the design development process.



The Fosse Common concept

The site encompasses 290 hectares, thereby providing the opportunity for up to three new Fosse villages.

The concept of one, two, or three villages which was raised during the first CLG meetings has also continued to drive design development after feedback revealed concern that a single new settlement could dwarf the existing Fosse villages.

Create and Protect

The cohesive identity of the new and existing villages will be considered by CLG members in future meetings, and in accordance with the Fosse Villages Neighbourhood Plan.

The design will seek to create strong permanent edges for the new and existing communities in order to define the extent of the built area, protect the Fosse Common, and prevent unsuitable future development in perpetuity.



Protecting the existing Fosse villages

The Function of the Fosse Common

The Fosse Common's function is to maintain separation between villages, protect key views and deliver usable public open spaces to benefit the entire Fosse family.

- 1. The Meadows** - resolving existing flooding issues is a critical challenge that the proposed new settlements will strive to address with the Fosse Common helping to collect and hold back excess rain/flood water from existing homes and settlements.
- 2. Central Park** – providing a place to meet and socialise for people from both the new and existing villages. The park will be sited on the highest ground possible to support views of the surrounding landscape and villages.
- 3. Sports Hub** – providing additional sporting facilities, changing facilities and multiple sports pitches.
- 4. Secondary school** - 10 hectares have been estimated for the provision of a 9-form entry secondary school, of which 4 forms in every year will be reserved for existing residents. If the school is provided in this place, 8 hectares will be green space which would help the area to be formalised and avoid overdevelopment overdeveloped.



The function of the Fosse Common

Extending the Concept

The ambition is to join the Fosse Common to the surrounding villages and promote active travel through the creation of 'greenways' and by enhancing existing footpaths and cycleways. It is proposed to provide all key community facilities within a 20 minute walk for new and existing residents.



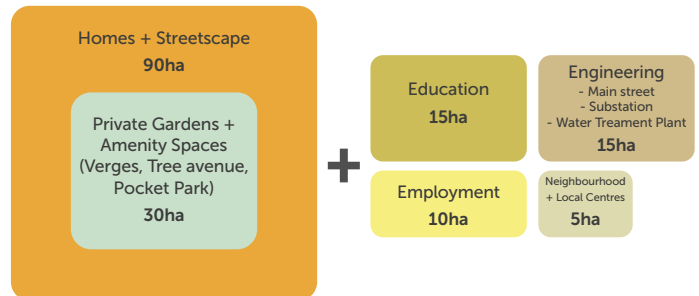
Developing the Brief...assuming that it is 4,000-5,000 homes

The site provides 290 hectares in total, 120 of which would be dedicated to dwellings and streetscape, and 30 hectares dedicated to private gardens. The infrastructure required would cover around 45 hectares, illustrated below.

Final housing numbers will be established by Blaby District Council's Local Plan, which is still progressing. The project team is continuing to develop the design using feedback gathered from members of the CLG during this workshop and a second workshop focused on highways and settlement identity will be held in 2024.

Estimated allocation land use

Residential Development Area
TOTAL: 120ha



At least 125ha of green open space and green infrastructure

The year ahead

The Land West of Stoney Stanton project team is continuing to progress the vision for the site based on the feedback received from all stakeholders to date. In the new year, we will be embarking on a parish council roadshow, following advice from local ward councillors, to ensure that all local parishes are updated on our progress to date. So far, we have presented to Stoney Stanton Parish Council (12th December) and in the new year will be presenting to Thurlaston Parish Council (9th January), Sapcote Parish Council (1st February) and Huncote Parish Council (7th March).

CLG Meetings

Our current ambition is to hold the second design workshop focused on highways and settlement identity in spring 2024. Further information regarding the session will be uploaded to the project website and members will be notified by email in advance.

Q&A

During our meeting with Stoney Stanton Parish Council on 12th December, a number of questions were raised, which we have provided responses to below.

What benefits will the scheme provide for existing residents?

The proposed development will provide new infrastructure and housing capacity which will benefit the current and future residents and businesses of Stoney Stanton. New infrastructure is expected to include three primary schools and a new secondary school. Within the latter, 4-forms in every year will be reserved for families who live in the existing surrounding villages.

The proposed new villages will also host other new infrastructure that will be within easy reach for existing residents, including but not restricted to, primary healthcare provision, leisure and indoor sporting facilities, cemetery space, and various tenures of new homes to help all generations of families continue to live close to one another.

How will flooding and wastewater be dealt with?

We are at an early stage of design and planning and it will not be until we are an allocated site in the Blaby Local Plan that the water authority will formally engage in the planning and design of the required infrastructure. However, we will be expected to meet the requirements determined by Severn Trent Water. To ensure we are taking a robust approach to our masterplanning, we have made provisions to include a package water treatment plant within our masterplan, should one be required.

The proposed Fosse Common concept is being designed to alleviate Stoney Stanton's current flooding issues through the integration of meadows to collect and hold back excess rain/flood water.

Will the site on the north side of Station Road, linked with Cora Homes, be part of the proposals for the land west of Stoney Stanton and contribute to the number of homes delivered?

Cora Homes is not a subsidiary of Barwood Land. The two businesses parted in 2018 and now operate from different premises. Cora Homes' land arrangements are entirely disconnected from Barwood Land. Barwood Land and the project team is not involved in the Cora Homes proposals. Therefore, although any new homes delivered by Cora Homes would contribute towards meeting BDC's 5-year housing land supply, it would not contribute to homes delivered by the proposed land west of Stoney Stanton scheme.

Will the land south of Broughton Road, which is owned by members of the consortium, be used to create an access point for a new link road to support development? If so, what protection will be put in place to prevent further homes from being developed and the erosion of the area of separation between Stoney Stanton and Sapcote?

Parkers of Leicester is currently in discussions with Blaby District Council (BDC) about whether some of this land could be used to strategically bridge Blaby's 5-year housing land supply gap, while maintaining separation between Stoney Stanton and Sapcote. New homes on this land would enable the early delivery of any new link road and flood mitigation infrastructure, many years earlier than would otherwise be possible. There is also the opportunity to invest in and protect the Broughton Road recreation ground through well-planned and BDC-supported development on this land.

Will the infrastructure be completed before the new homes are constructed?

Without an allocation, it is too early to predict when infrastructure can and will be delivered, although we are looking at options for the earliest possible delivery of the link road, subject to further land negotiations with the parish. At least the eastern third of the new link road and two new junctions with Broughton Road and Sapcote Road could be delivered early alongside some new housing south of Broughton Road.

We are working with Leicestershire County Council to ensure that the provision of the schools is timed to optimise delivery and ensure viability.

Contact us

If you or anyone you know is interested in contributing to the collaborative design of this exciting new place, or joining the project's Community Liaison Group (CLG), you can contact us by:



calling us on **0808 1688 296**.



or emailing us at contact@landwestofstoneystanton.co.uk